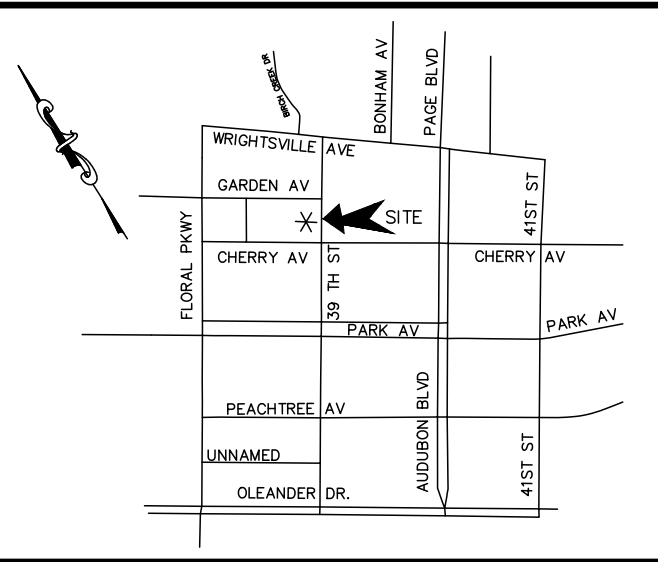


LOCATION MAP

NOT TO SCALE



Approved Construction Plan

Name: _____ Date: _____

Planning: _____

Traffic: _____

Fire: _____

City of Wilmington
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit #: _____

Signed: _____

GENERAL NOTES:

- NEW HANOVER COUNTY PARCEL NUMBERS: PID = R04809-037-011-000
- TOTAL PROJECT AREA: 44,100 (1.01 AC.)
- EXISTING ZONING DISTRICT: O&J-1
- CAMA LAND CLASSIFICATION: URBAN
- THIS SITE IS LOCATED WITHIN ZONE "X" ACCORDING TO FEMA FIRM COMMUNITY PANEL NUMBER 3720311800L, EFFECTIVE DATE 8/28/18
- SITE ADDRESS: 3807 CHERRY AVE.
- EXISTING IMPERVIOUS ON SITE = 0.0 SF
- AS-BUILT, BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY MICHAEL UNDERWOOD AND ASSOCIATES: VERTICAL DATUM = 88
- STORMWATER DRAINS TO BURNT MILL CREEK, C/SW 18-74-63-2
- LAND OWNER - REMARKABLE PROPERTIES, LLC
10 S. CARDINAL DRIVE
WILMINGTON, NC 28403

WATER & SEWER USAGE NOTES:

CURRENT WATER USAGE 0 GPD PROPOSED WATER USAGE 11,140 GPD
 CURRENT SEWER USAGE 0 GPD PROPOSED SEWER USAGE 11,140 GPD
 WATER - 46 (1) BEDROOM X 240 GPD = 11,040 GPD
 COMMERCIAL 4 EMPLOYEES X 25 GAL/SHIFT = 100 GPD
 SEWER - 46 (1) BEDROOM X 240 GPD = 11,040 GPD
 COMMERCIAL 4 EMPLOYEES X 25 GAL/SHIFT = 100 GPD

SITE & BUILDING DATA:

TOTAL LOT AREA = 44,100 SF (1.01 AC.)
 PROPERTY ADDRESS IS 3807 CHERRY AVE.
 PID = R05514-013-004-000
 EXISTING ON-SITE DATA:
 EXISTING BUILDINGS ON SITE = 0 SF
 EXISTING ASPHALT = 0 SF
 TOTAL = 0 SF

EXISTING OR IMPERVIOUS:
 PROPOSED IMPERVIOUS:
 PROPOSED BUILDINGS = 9,236 SF
 PROPOSED ASPHALT = 20,022 SF
 PROPOSED SIDEWALK = 1,692 SF
 TOTAL = 30,950 SF

30,950 / 44,100 = 0.702 or 70% IMPERVIOUS

SOILS ON-SITE: JO (JOHNSON), SH (SEAGATE-URBAN)
 JO - SCS SOIL GROUP "A/D" PER USDA SOIL SURVEY WEBSITE
 SH - SCS SOIL GROUP "B" PER USDA SOIL SURVEY WEBSITE

PROPOSED IMPERVIOUS OFF-SITE:
 SIDEWALKS = 173 SF
 DRIVEWAY CONNECTION = 502 SF

BUILDING DATA:
 NUMBER OF BUILDINGS = 1
 46 - 1 BEDROOM STUDIO UNITS
 1 - 922 SF COMMERCIAL UNIT
 BUILDING HEIGHT = 35 FT
 NUMBER OF STORES = 3
 SQUARE FOOTAGE PER FLOOR

FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL
AREA	9,455	9,455	9,455	28,365

BUILDING TYPE = 10 WITH 1.3R SPRINKLERS
 BUILDING AREA: 9,236 SF
 LOT COVERAGE: 9,236 SF / 44,100 SF = 0.217
 PROPOSED 21% BUILDING LOT COVERAGE

BUILDING SETBACKS:
 EX. BUILDING

REQUIRED SETBACKS	PROPOSED SETBACKS
FRONT SETBACK: 20 FT	FRONT SETBACK: 20 FT
SIDE SETBACK: 10 FT, 20 FT	SIDE SETBACK: > 10 & 14.6 FT
REAR SETBACK: 20 FT	REAR SETBACK: 34 FT

FIRE & LIFE SAFETY NOTES:

- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS OR FDC'S. A 3 FT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
- CONTRACTOR SHALL MAINTAIN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE FIRE LINE PERMIT FROM COW FIRE AND LIFE SAFETY DIVISION, 910-343-0696.
- ALL FDC LOCATIONS TO BE SHOWN ON FINAL PLAN.
- FDC MUST BE ON THE FRONT OF THE BUILDING(S) UNLESS OTHERWISE APPROVED.
- FIRE HYDRANTS TO BE INSTALLED PER CITY OF WILMINGTON ORDINANCE AND CFPWA STANDARDS.
- WATER FLOW ANALYSIS WILL BE REQUIRED TO DETERMINE THE CORRECT MAIN SIZE TO MEET FIRE FLOW DEMAND.
- NEW HYDRANTS TO BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
- HYDRANT MUST BE WITHIN 150 FT OF THE FDC (MEASURED AS THE TRUCK DRIVES).
- FDC MUST BE WITHIN 40 FT OF FIRE APPARATUS PLACEMENT.
- IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- CONTRACTOR SHALL SUBMIT A RADIO STRENGTH STUDY THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

N/F RESNIK
 DB 4697 PG 249
 ZONING: O&J-1
 LANDUSE: OFFICE

MEDIAN VERTICAL C & G
 SEE DETAIL ON SHEET 5

PROP. 4 FT HIGH ALUMINUM FENCE
 (SEE LANDSCAPE PLANS FOR DETAILS)

UNDERGROUND INFILTRATION SYSTEM
 SEE SHEET EC2

MEDIAN VERTICAL C & G
 SEE DETAIL ON SHEET 5

PROP. NO PARKING SIGN

PROP. 5 FT SIDEWALK

EX. CURB AND GUTTER
 FRAMING EX. CURB INLET

PROP. 5 FT SIDEWALK

EX. CURB AND GUTTER
 FRAMING EX. CURB INLET

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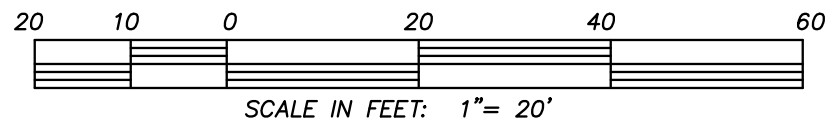
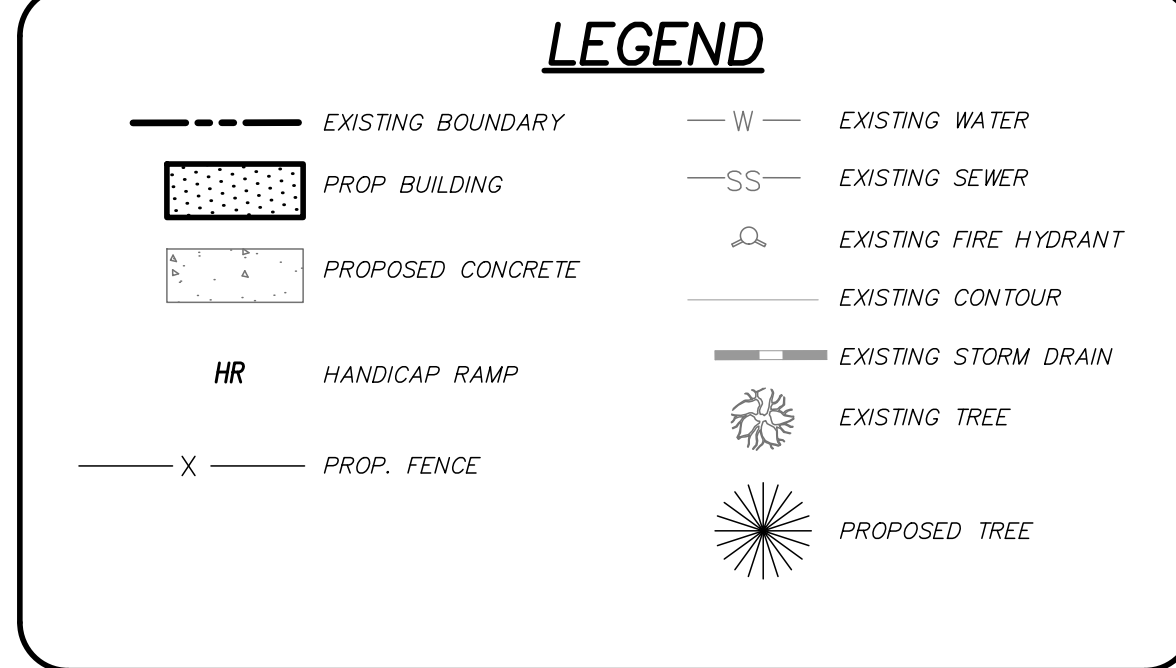
EX. CURB AND GUTTER
 FRAMING EX. CURB INLET

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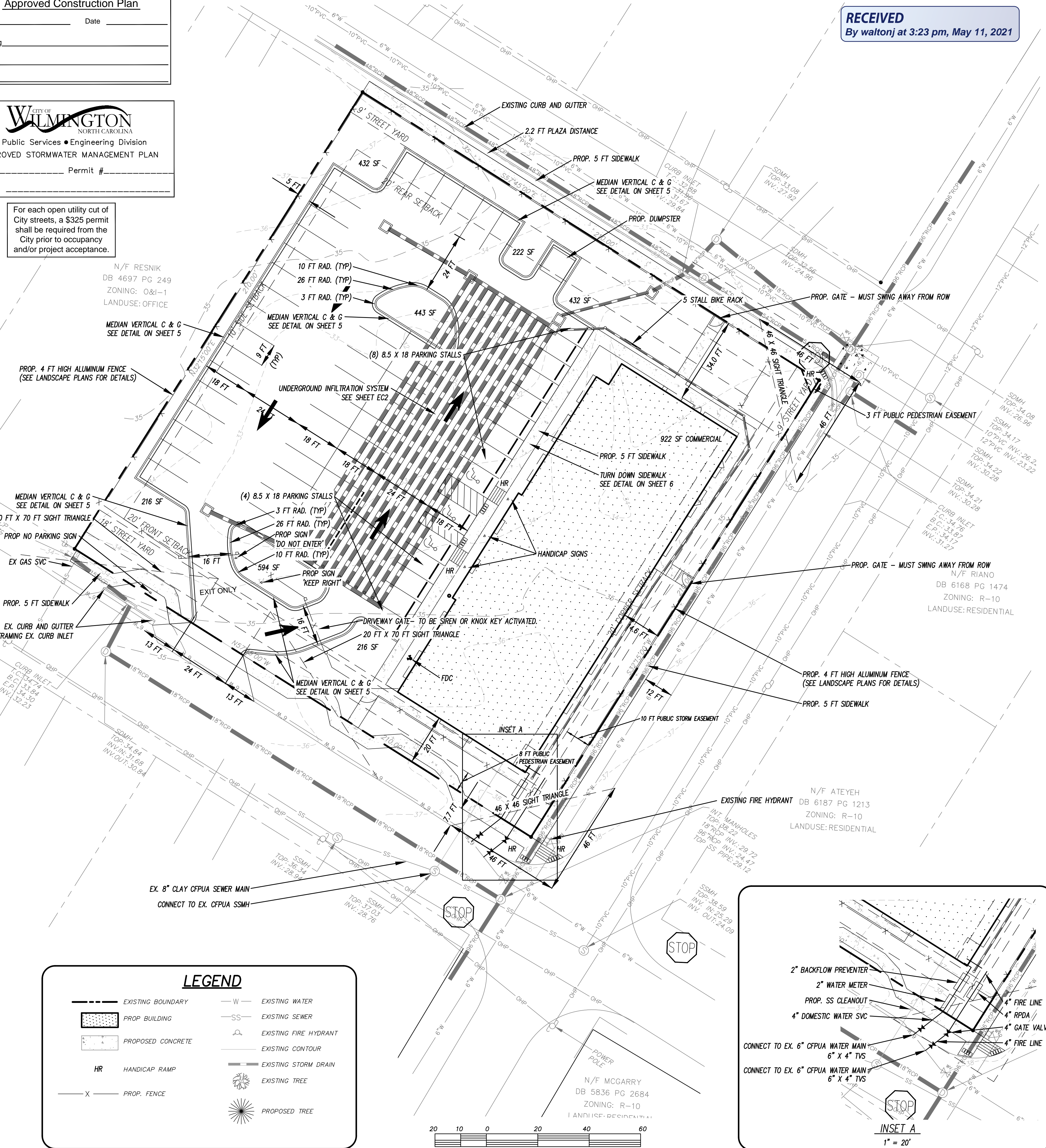
EX. CURB AND GUTTER
 FRAMING EX. CURB INLET

PROP. 5 FT SIDEWALK

EX. CURB AND GUTTER
 FRAMING EX. CURB INLET



RECEIVED
 By waltonj at 3:23 pm, May 11, 2021



DEVELOPMENT NOTES:

- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOCO AT 1-800-632-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB AND CUTTER, SIDEWALK PANELS, PAVEMENT, ETC., THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
- SOLID WASTE DISPOSAL WILL BE HAND TOTES.
- HAND TOTES TO BE STORED IN GARAGES.
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON ZONING ORDINANCE & SUBDIVISION REGULATIONS.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF PROPOSED SIGNAGE FOR THIS SITE. A SEPARATE SIGN PERMIT MUST BE OBTAINED.
- APPLICABLE STREET FRONTAGES SHALL HAVE NATURAL VEGETATIVE SCREENING MEETING CITY REQUIREMENTS.
- THE DEVELOPMENT SHALL COMPLY WITH ALL CITY TECHNICAL STANDARDS AND DEVELOPMENT REGULATIONS.
- PRIMARY BUILDING ENTRANCES SHALL BE CLEARLY DEFINED AND SHALL BE RECESSED AT LEAST FIVE FEET OF FRAMED BY AN ARCHITECTURAL ELEMENT. PRIMARY ENTRANCES SHOULD BE CLEARLY DISTINCTIVE FROM OTHER ENTRANCES. SECONDARY OUTSIDE BUILDING ENTRANCES TO UPPER FLOORS ON THE PRIMARY FACADE SHALL ALIGN WITH THE OUTER MOST WINDOW ON THE FRONT FACADE.

UTILITY NOTES:

- PROJECT SHALL COMPLY WITH THE CITY OF WILMINGTON AND CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE SET AND ACTIVATED ON NEW MAINS UNTIL ALL REQUIREMENTS ARE MET. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION HE/SHE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- COMMERCIAL WATER SERVICES AND ANY IRRIGATION SYSTEMS SUPPLIED BY CFPWA WATER SHALL HAVE A BACKFLOW PREVENTION DEVICE ACCEPTABLE TO THE CFPWA AND APPROVED BY USDFCCOCHR OR ASSE. CALL 799-6064 FOR INFORMATION.
- WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STRAPPED TO THE PIPES WITH DUCT TAPE. THE INSULATED WIRE IS TO BE STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES AND FITTINGS. THE WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
- MINIMUM COVER OVER ALL WATER MAINS.
- ANY SEPARATE CONNECTION FOR IRRIGATION SHALL COMPLY WITH CITY AND CFPWA CROSS-CONNECTION REQUIREMENTS WITH APPROVED BACKFLOW PREVENTION DEVICES.
- AT LOCATIONS WHERE WATER MAIN CROSSES UNDER SANITARY SEWER, DUCTILE IRON PIPE SHALL BE USED ALONG WITH PROVIDING 24" MINIMUM OF VERTICAL SEPARATION.
- WATER SERVICES CAN NOT BE ACTIVATED ON NEW WATER MAINS UNTIL ENGINEER'S CERTIFICATION AND APPLICANT'S CERTIFICATION HAVE BEEN PROVIDED TO NCDENR AND "FINAL APPROVAL" ISSUED.
- UNDERGROUND UTILITIES- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ABUTTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.

ENVIRONMENTAL NOTES:

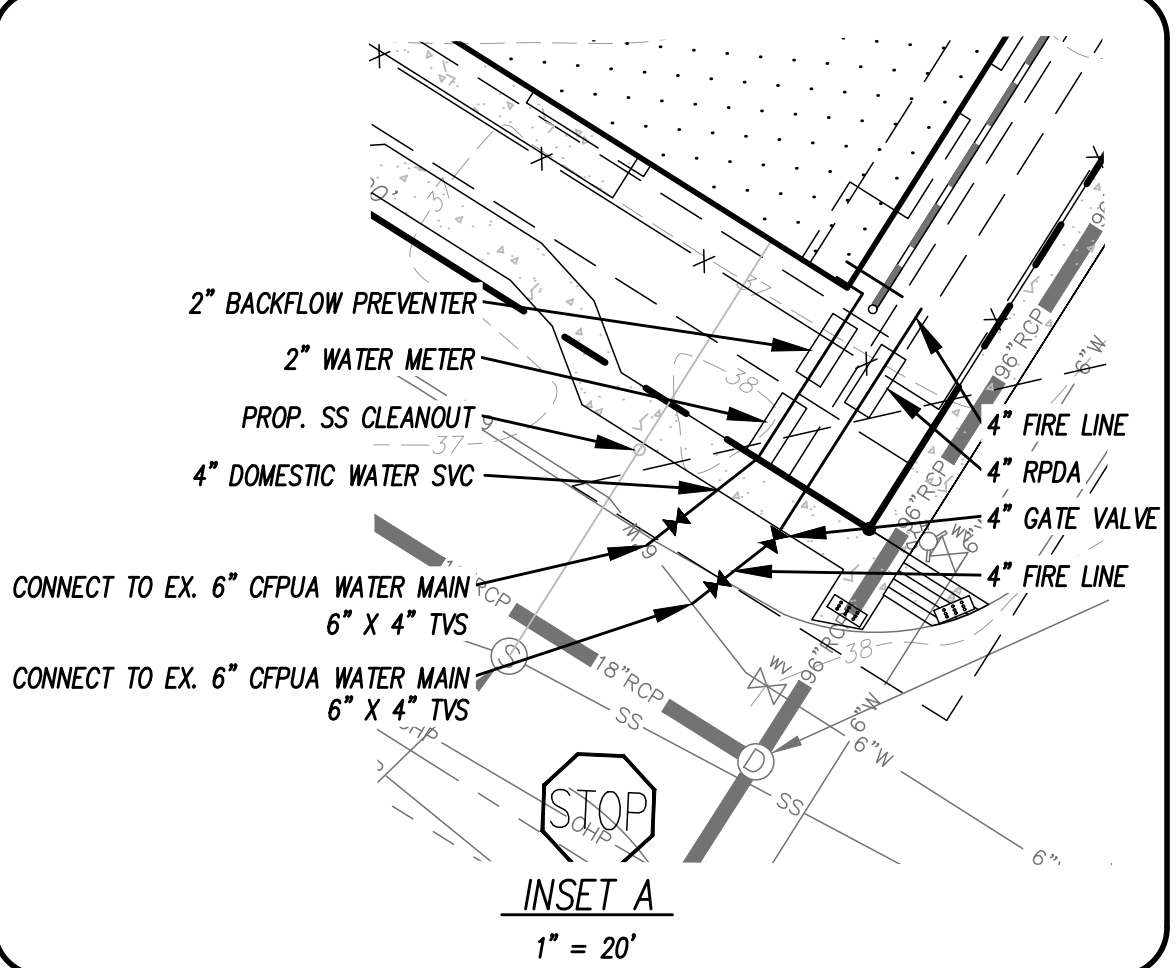
- NO LAND DISTURBANCE IS PERMITTED OUTSIDE THE DESIGNATED LIMITS OF DISTURBANCE FOR SITE IMPROVEMENTS OTHER THAN WHAT IS NECESSARY TO THE INTO EXISTING CONTOURS OR MEET LANDSCAPING REQUIREMENTS.

PARKING NOTES:

- RESIDENTIAL MAX = 46 X 2.5 = 115
- RESIDENTIAL MIN = 46 X 1.0 = 46
- COMMERCIAL MAX = 922 / 200 = 4.6
- COMMERCIAL MIN = 922 / 400 = 2.3
- MAX PARKING = 115 + 2.3 = 117.3
- MIN PARKING = 46 + 2.3 = 48.3
- PARKING PROVIDED = 59 SPACES
- 3 HANDICAP SPACES REQUIRED, 3 PROVIDED
- PARKING STALLS ARE 9 X 18 UNLESS OTHERWISE NOTED.
- 5 BIKE PARKING STALLS REQUIRED; 5 PROVIDED
- ONE DEDICATED PARKING SPACE SHALL BE PROVIDED FOR EACH DWELLING UNIT ON SITE. THE PARKING SPACE MUST BE AVAILABLE TO THE OCCUPANTS AT ALL TIMES AND CLEARLY DESIGNATED OR RESERVED FOR RESIDENTIAL TENANTS ONLY.

TRAFFIC ENGINEERING NOTES:

- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO RECORDING OF THE FINAL PLAT. PLAN SHALL ADHERE TO SD 15-17.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- OPEN CUT NOTES:
 A. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 B. CONTRACTOR TO COORDINATE WITH CITY OF WILMINGTON FOR ACCEPTABLE HOURS OF CONSTRUCTION AND TRAFFIC CONTROL DURING INSTALLATION OF UTILITIES IN CITY ROADS.
 C. SUTABLE COMPACTION AND APPROVED STONE & BASE COURSES TO BE INSTALLED IN PLACE OF OPEN CUT.
 D. OPEN CUT TO BE SAW CUT.
 E. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 F. IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
 G. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
 H. TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 I. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 J. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 K. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREA SHALL BE WHITE.
 L. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
 M. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30 INCHES - 10 FT.



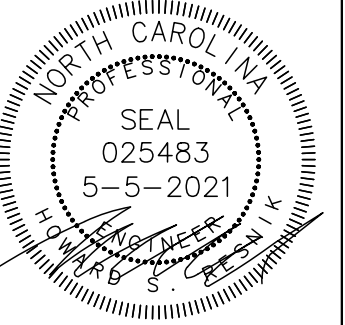
LICENSE # C-2710
 ENGINEERING
 LAND PLANNING
 COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
 WILMINGTON, NC 28406
 (910) 791-4441

SITE PLAN FOR
FUTWICK FLATS

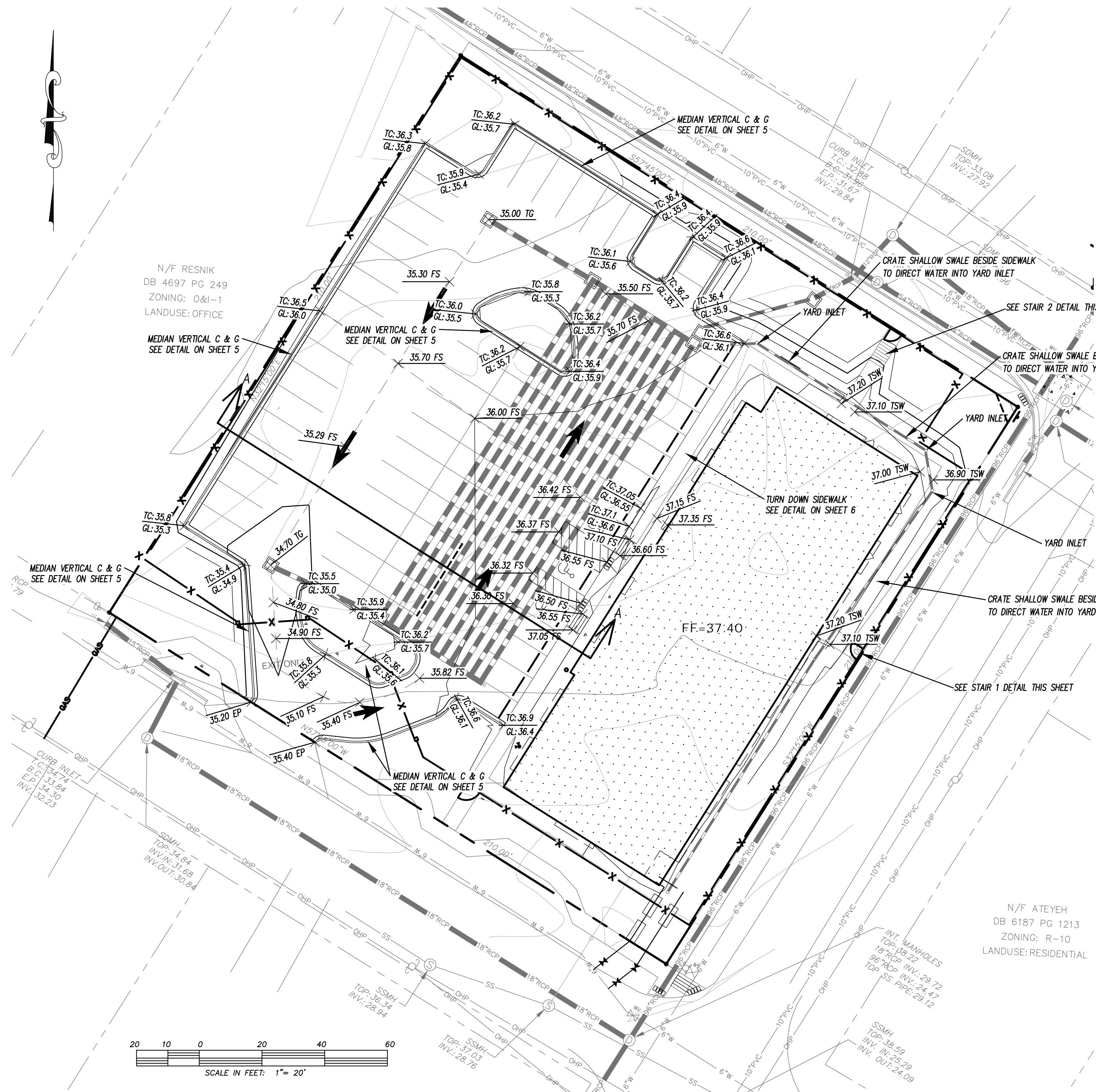
LOCATED IN CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: REMARKABLE PROPERTIES, LLC
 10 S. CARDINAL DRIVE
 WILMINGTON, NC 28403



REV. NO.	DATE	BY	REMARKS
1	5-21-21	RLW	
2	5-21-21	RLW	
3	5-21-21	RLW	
4	5-21-21	RLW	
5	5-21-21	RLW	
6	5-21-21	RLW	
7	5-21-21	RLW	
8	5-21-21	RLW	

DATE: 3-21-19
 HORIZ. SCALE: 1" = 20'
 VERT. SCALE: N/A
 DRAWN BY: RLW
 CHECKED BY: HSR
 PROJECT NO.: 05-0083



Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

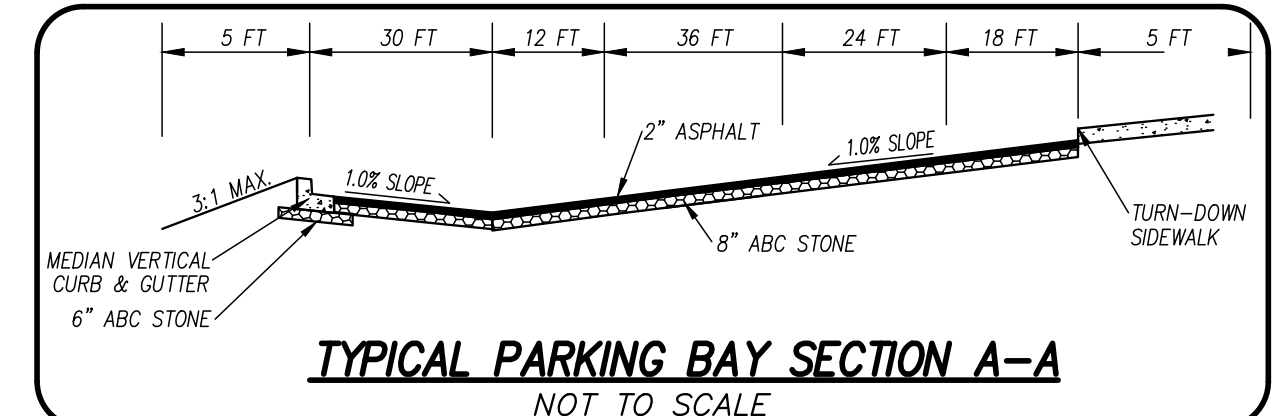
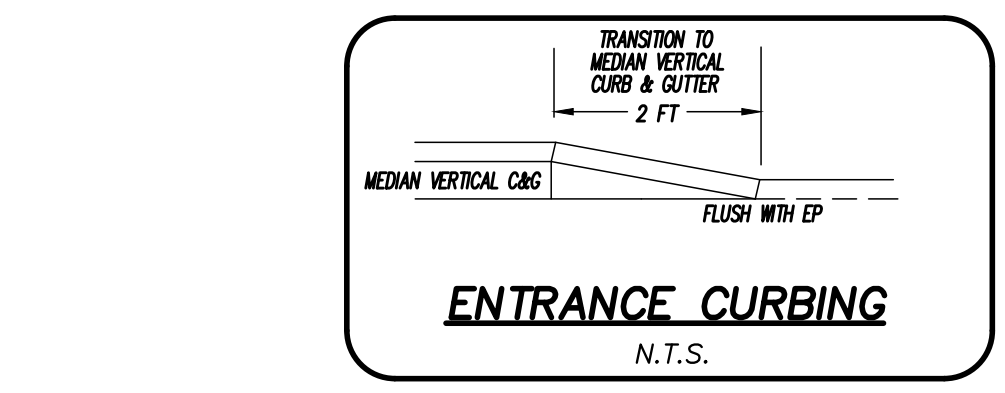
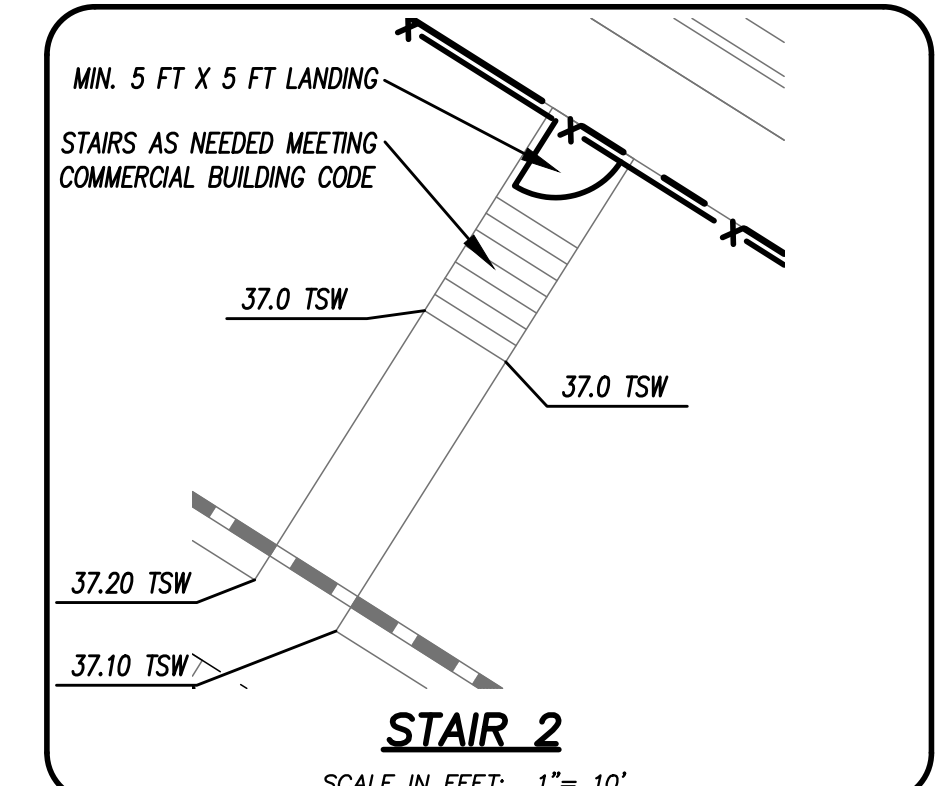
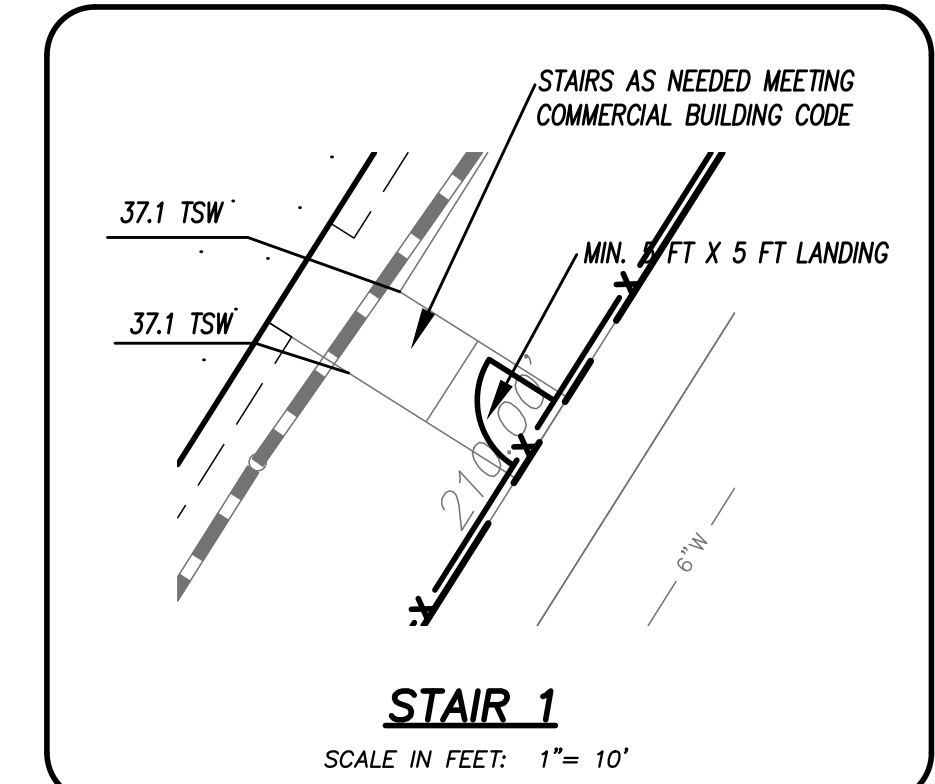
Fire _____

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

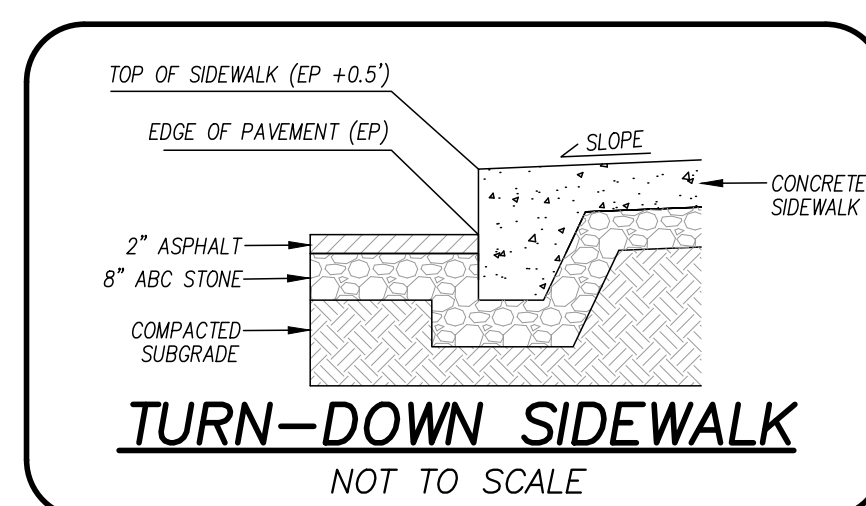
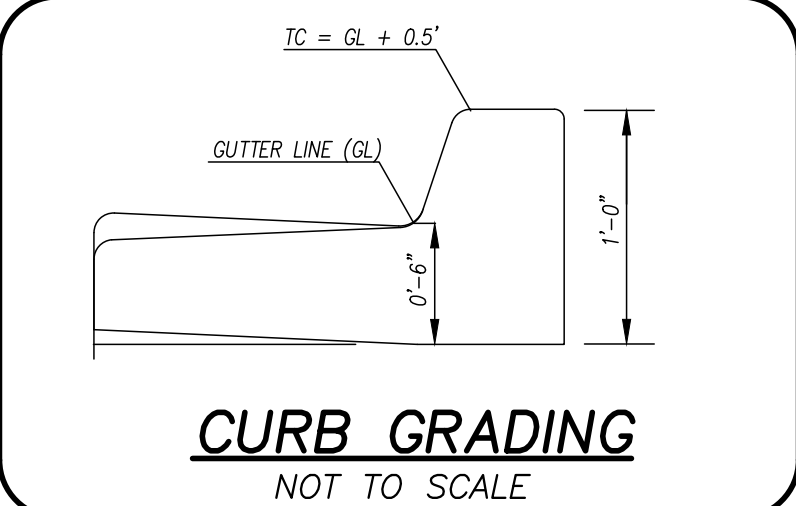
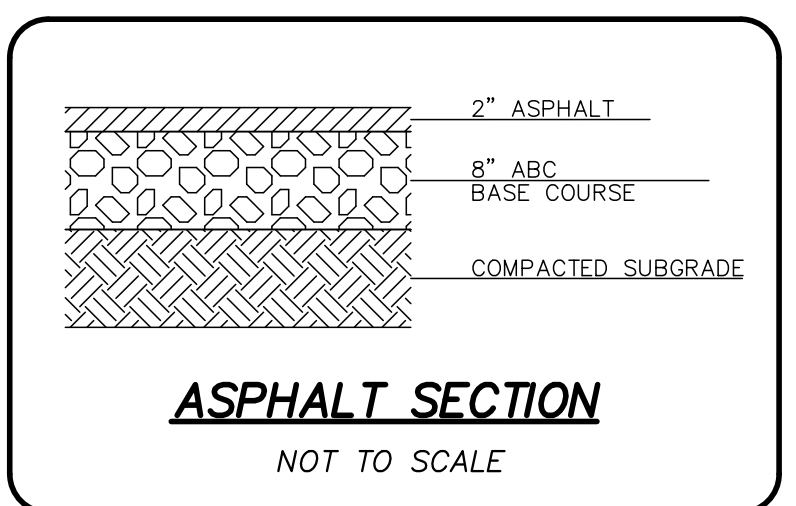
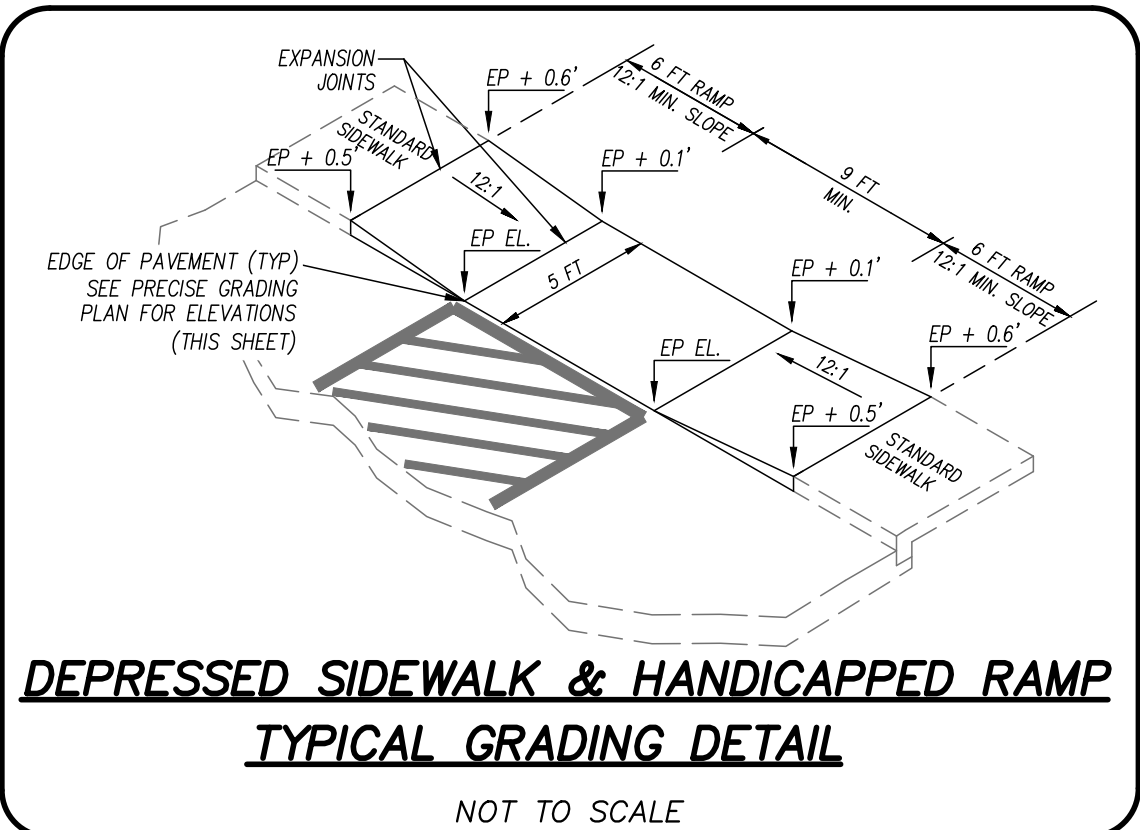
Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



- GRADING NOTES:**
- CONTRACTOR TO MAKE SMOOTH TRANSITION FROM INVERTED CROWN TO SHEET FLOW IN DESIGNATED AREAS
 - CONTRACTOR TO ENSURE POSITIVE DRAINAGE IN ALL FINISHED AREAS.
 - ALL BUILDING ROOF DRAINS MUST BE DIRECTED INTO THE STORM DRAINAGE COLLECTION SYSTEM OR INTO THE PARKING LOT.

- GRADING KEY**
- UNLESS NOTED ALL ELEVATIONS ARE TO FINISHED GRADE.
- TG - TOP OF GRATE
 - GL - GUTTER LINE
 - TC - TOP OF CURB
 - EP - EDGE OF PAVEMENT
 - FS - FINISHED SURFACE
 - PROPOSED STORM SEWER & CATCH BASIN



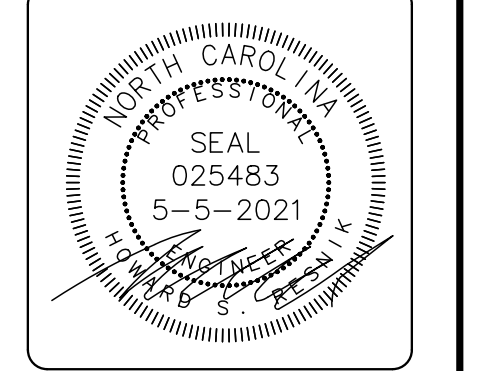
CSD ENGINEERING

LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

GRADING PLAN
FLUTWICK FLATS

GRADING PLAN
FLUTWICK FLATS
LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA
OWNER: REMARKABLE PROPERTIES, LLC
TO S. CARDINAL DRIVE
WILMINGTON, NC 28403



REV.	NO.	DATE	BY	REMARKS
1	1	5-2-21	RLW	ADDED STAIRS AT SIDEWALK CONNECTIONS
2	2	9-22-20	RLW	REVISED GRADING ON NORTH SIDE OF BUILDING
3	3	10-14-19	MRB	PLOTTED FOR CITY SIGNATURES
4	4	8-22-19	RLW	REVISED PER TRC COMMENTS

DATE: 7-9-19
HORIZ. SCALE: 1" = 20'
VERT. SCALE: N/A
DRAWN BY: RLW
CHECKED BY: HSR
PROJECT NO.: 05-0083
Sheet No. **6** of **8**

SITE DATA

ADDRESS 3807 CHERRY AVE.
 PARCEL ID R04809-037-011-000
 CAMA CLASSIFICATION URBAN
 EXISTING ZONING O&I - 1
 PARCEL AREA +/- 1.01 AC (44,100 SF)

LANDSCAPE REQUIREMENTS

REQUIRED	PROVIDED
PARKING LOT CANOPY COVERAGE (20,189 SF x 25%) 5,047 SF, 7 TREES 1 LARGE SHADE TREE = (707 SF) 1 SM. SHADE TREE = (314 SF)	6,363 SF 8 LARGE SHADE TREES (707 SF)
STREET YARD PLANTING PRIMARY STREET YARD CHERRY AVE TREES REQUIRED 3,348 SF (186 LF x 18) 6 (1,600 SF) SHRUBS REQUIRED 34 (6,600 SF)	3,442 SF 3 PROPOSED TREES 14 EXISTING TREES 42 PROPOSED SHRUBS
SECONDARY STREET YARD 39TH STREET TREES REQUIRED 1,890 SF (210 LF x 9) 4 (1,600 SF) SHRUBS REQUIRED 19 (6,600 SF)	2,079 SF 20 PROPOSED TREES 20 PROPOSED SHRUBS
SECONDARY STREET YARD GARDEN AVE TREES REQUIRED 1,890 SF (210 LF x 9) 4 (1,600 SF) SHRUBS REQUIRED 19 (6,600 SF)	1,890 SF 4 PROPOSED TREES 48 PROPOSED SHRUBS
FOUNDATION PLANTING NORTH ELEVATION (61 LF x 35 x .12) 256 SF	256 SF
WEST ELEVATION (156.5 LF x 35 x .12) 658 SF	658 SF
EAST ELEVATION (156.5 LF x 35 x .12) 658 SF	658 SF
SOUTH ELEVATION (61 LF x 35 x .12) 256 SF	256 SF

RETAINED TREE CREDITS:

QUANTITY	SIZE	TREE	TOTAL DBH
1	8"	OAK	8"
2	9"	OAK	18"
1	8"	GUM	8"
2	9"	GUM	18"
1	10"	GUM	10"
1	12"	GUM	12"
1	15"	GUM	15"
1	18"	GUM	29"
1	29"	GUM	29"
1	15"	SYCAMORE	15"
1	19"	SYCAMORE	19"
2	20"	SYCAMORE	40"
1	10"	PECAN	10"
3	13"	PINE	39"
2	18"	PINE	36"
1	20"	PINE	20"
1	22"	PINE	22"
1	8"	WALNUT	8"
1	12"	WALNUT	12"
1	13"	WALNUT	13"
1	15"	WALNUT	15"
1	20"	WALNUT	20"

TOTAL (405' / 6) = 67 TREE CREDITS

TREE MITIGATION REQUIREMENTS

REMOVED SIGNIFICANT TREES

QUANTITY	SIZE	COMMON NAME	% MITIGATION
2	6"	MAGNOLIA	100
1	13"	MAGNOLIA	100
1	18"	MAGNOLIA	100

43' x (2) x (1) = 86' / 3 = 29 TREES
 TOTAL: 29 TREES REQUIRED FOR MITIGATION

REMOVED REGULATED TREES

QUANTITY	SIZE	COMMON NAME	% MITIGATION
2	8"	SYCAMORE	100
1	20"	SYCAMORE	100
1	15"	PINE	100
1	18"	PINE	100
1	22"	PINE	100
1	12"	WALNUT	75

12' x .75 = 9' / 3 = 3 TREES
 91' x 1 = 91' / 3 = 31 TREES
 TOTAL: 34 TREES REQUIRED FOR MITIGATION

TOTAL TREES REQUIRED FOR MITIGATION = 59 TREES
 TREE CREDITS USED TO SATISFY MITIGATION = 67 TREES

TREE REQUIREMENTS PER DISTURBED ACRE

15 TREES PER DISTURBED ACRE MUST BE RETAINED OR PLANTED ON SITE.
 REQUIRED: 1.01 ACRES DISTURBED x 15 TREES = 15 TREES REQUIRED
 PROVIDED: 24 TREES PROPOSED - REFER TO PLANTING LEGEND, THIS SHEET
 TOTAL: 24 TREES PROVIDED

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

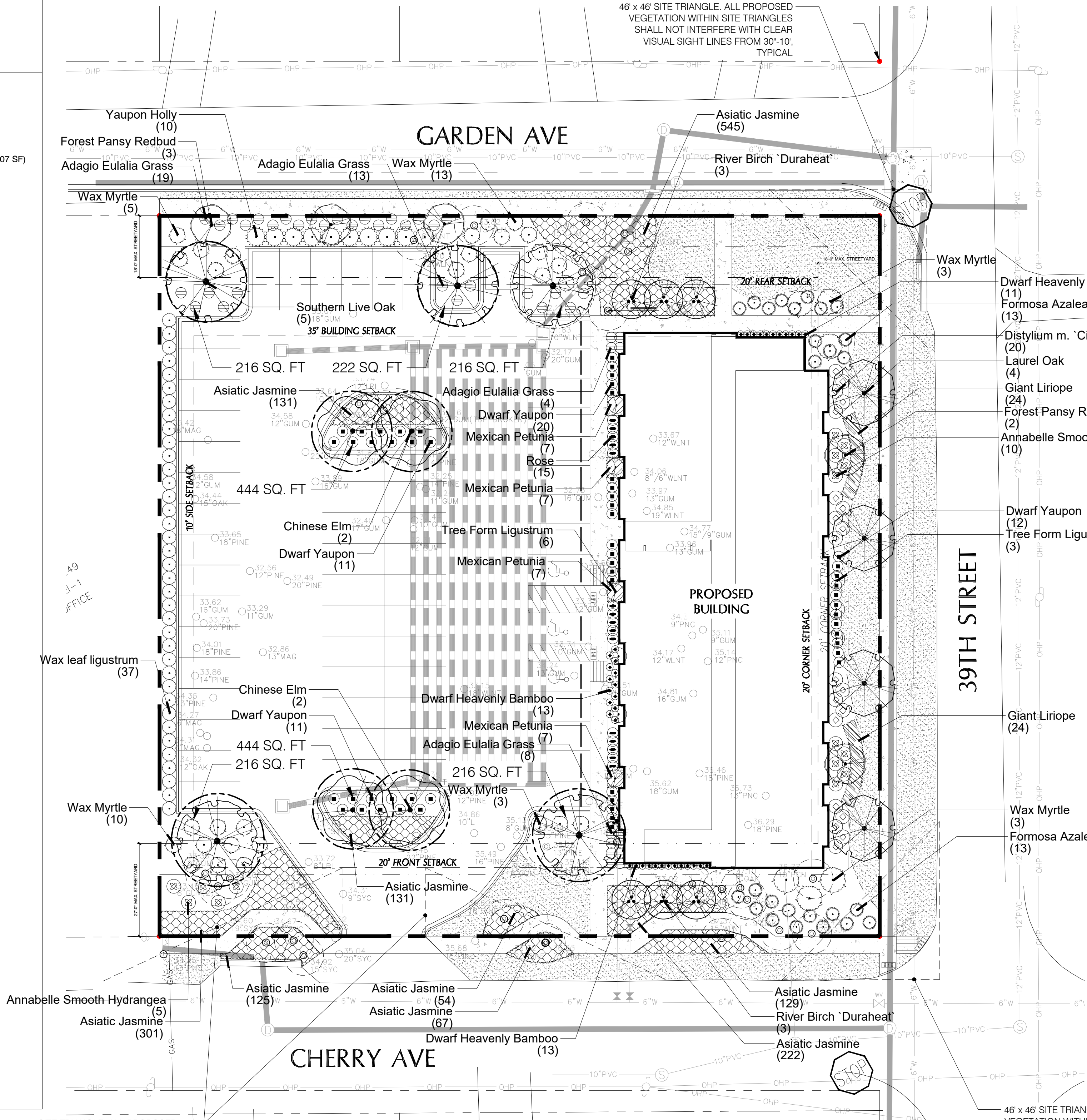
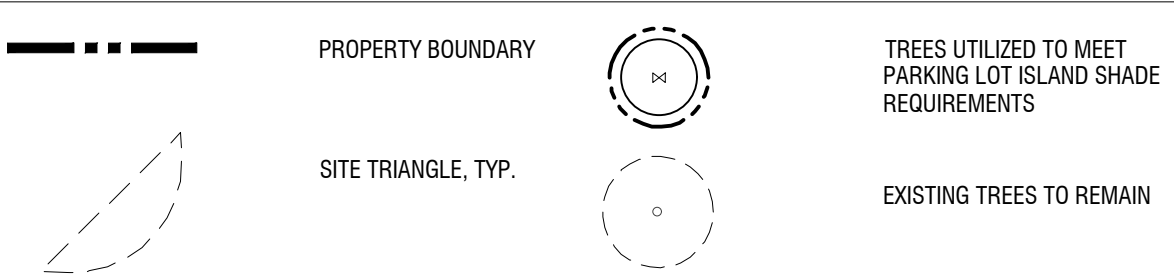
Approved Construction Plan

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

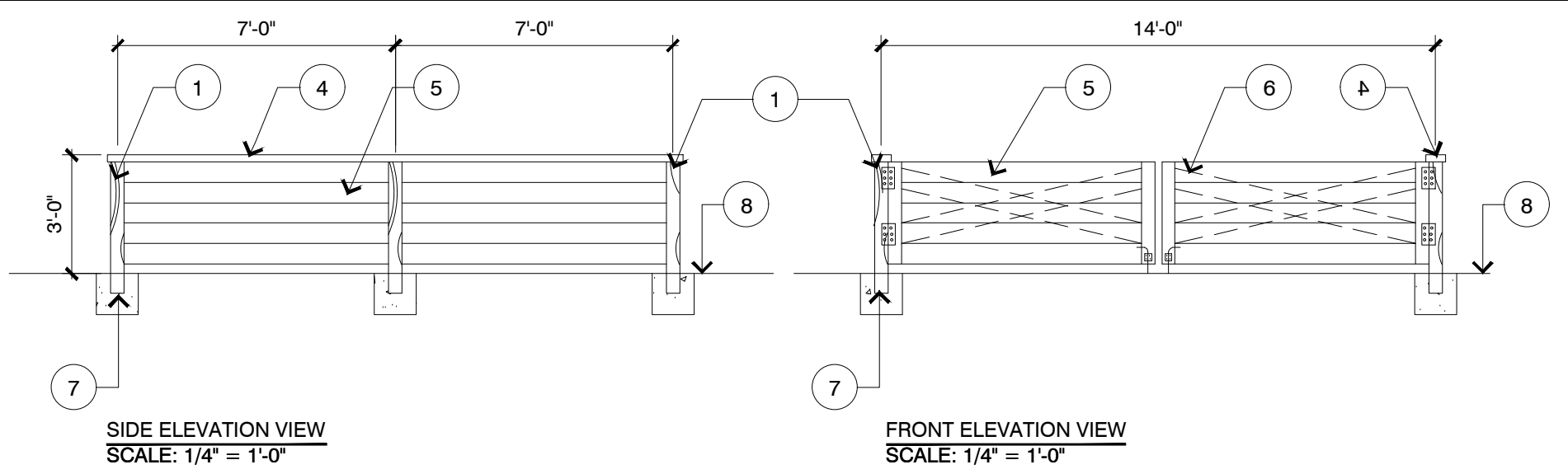
City of Wilmington, North Carolina
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

NOTE:
 -ALL PROPOSED VEGETATION WITHIN SIGHT DISTANCES TRIANGLES SHALL NOT INTERFERE WITH CLEAR SIGHT LINES FROM 30'-10'.
 -PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING

SYMBOL LEGEND



DUMPSTER SCREEN DETAIL



LEGEND

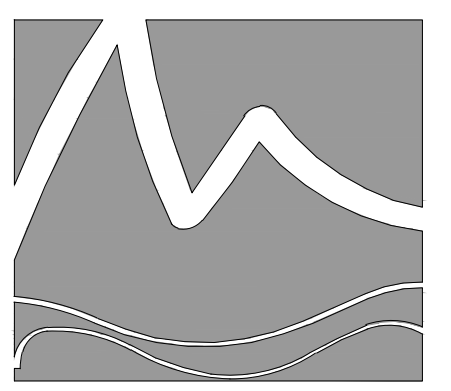
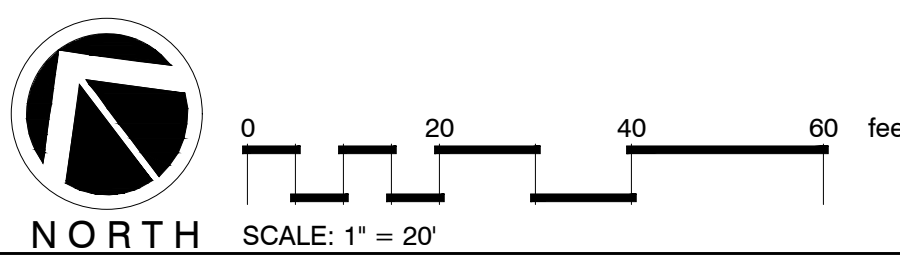
- 4x4 TREATED POSTS
- 8" CONCRETE PAD, 3000 @ PSI
- ADJACENT PAVEMENT
- 2x6 CAP
- HORIZONTAL WOOD SIDING
- ENCLOSURE GATES WITH CROSS-BRACING
- CONCRETE FOOTING
- FINISH GRADE

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	RANGE	QTY
	Betula nigra / River Birch 'Duraheat'	B & B	2'-2.5' CAL.		6
	Cercis c. 'Forest Pansy' TM / Forest Pansy Redbud	45 GAL		8-10' HT	5
	Quercus laurifolia / Laurel Oak	B&B	3" CAL		4
	Quercus virginiana / Southern Live Oak	B & B	3" CAL		5
	Ulmus parvifolia / Chinese Elm	B & B	3" CAL		4
SHRUBS	BOTANICAL / COMMON NAME	SIZE	RANGE	QTY	
	Distylium m. 'Cinnamon Girl'	3 gal	18-24" HT	26	
	Laurel Oak	4			
	Giant Liriope	24			
	Forest Pansy Redbud	2			
	Annabelle Smooth Hydrangea	10			
	Ilex vomitoria / Yaupon Holly	7 gal	36" HT	10	
	Ilex vomitoria 'Nana' / Dwarf Yaupon	3 gal	15-18" HT	54	
	Ligustrum j. 'Recurvifolium' / Wax leaf ligustrum	10 gal	30-36" HT	37	
	Ligustrum japonicum / Tree Form Ligustrum	B&B	6-8' HT	9	
	Miscanthus s. 'Adagio' / Adagio Eulalia Grass	3 gal	18-24" HT	44	
	Myrica cerifera / Wax Myrtle	25 gal	5-6' HT	6	
	Myrica cerifera / Wax Myrtle	7 gal	36" HT	32	
	Nandina domestica 'Harbour Dwarf' / Dwarf Heavenly Bamboo	3 gal	15-18" HT	37	
	Rosa x 'Knockout' TM / Rose	3 gal	18-24" HT	15	
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	RANGE	SPACING	QTY
	Liriope gigantea / Giant Liriope	1 GAL	12-18" HT	24" o.c.	48
	Ruellia brittoniana / Mexican Petunia	3 gal	15-24" HT	24" o.c.	28
	Trachelospermum a. 'Asiatic' / Asiatic Jasmine	1 qt	6-12" HT	15" o.c.	1,705
SOD/SEED	BOTANICAL / COMMON NAME	SIZE	RANGE	SPACING	QTY
	Cynodon dactylon / Bermuda Grass	sod			

GENERAL PLANTING NOTES

- THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.
- QUANTITIES SHOWN IN PLANT LISTS ARE FOR CONVENIENCE ONLY. PLANS SHALL GOVERN.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANT LOCATIONS OR INSUFFICIENT PLANT QUANTITIES DUE TO DIFFERENCES IN PLAN AND ACTUAL FIELD CONDITIONS.
- ALL TREE AND SHRUB MATERIAL SPECIFIED MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT WILL NOT BE ALLOWED.
- ALL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH EVEN SURFACE PRIOR TO ANY PLANT INSTALLATION. ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.
- TREES SHALL NOT BE PLANTED CLOSER THAN FOUR (4) FEET FROM ANY WALKWAY OR PUBLIC SIDEWALK EXCEPT WHERE TREE WELLS OR PARKWAYS ARE PROVIDED IN THE SIDEWALK AREA. ALL TREE PLANTED WITHIN FIVE (5) FEET OF WALKS OR PUBLIC UTILITIES SHALL RECEIVE DEEP ROOT BARRIERS.
- TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD, WHENEVER FEASIBLE. TREES SHOULD BE PLANTED A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREETLIGHTS, HYDRANTS, AND OUT OF DRAINAGE FLOW LINES. SHOULD THIS NOT BE POSSIBLE, CONTACT THE LANDSCAPE ARCHITECT FOR DECISION ON PLACEMENT.
- ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. CLR. CIRCUMFERENCE AROUND THE TRUNK BASE. PROVIDE 2" MIN. THK. MULCH AT BASE OF TRUNK.
- GROUND COVER TYPE SHOWN SHALL BE PLANTED IN ALL SHRUB AREAS AS SPECIFIED ON PLANS. GROUND COVER SHALL BE PLANTED AT 8" ON-CENTER UNIFORM TRIANGULAR SPACING, AND SHALL BE CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.
- MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES AND TRAFFIC SIGHT LINES.
- ALL PLANTING AREAS SHALL BE MULCHED WITH PINESTRAW, EXCEPT FOR AREAS PLANTED WITH GROUND COVER. ALL AREAS PLANTED WITH GROUND COVER SHALL BE MULCHED WITH HARDWOOD MULCH.



MIHALY
 LAND DESIGN
 PLANNING • LANDSCAPE ARCHITECTURE
 330 MILITARY CUTOFF RD., SUITE A3
 WILMINGTON, NC 28405 910.392.4355



Revisions
 2019-09-30: ADDRESS COMMENTS FROM COW
 2019-10-09: REVISE TO RETAIN (2) 13 PINES. TREE CREDITS & MITIGATION ADJUSTED ACCORDINGLY

CLIENT
REMARKABLE PROPERTIES, LLC
 10 S. CARDINAL DRIVE
 WILMINGTON, NC 28403

PROJECT
FLITWICK FLATS
 3807 CHERRY AVE.
 WILMINGTON, NC
 LANDSCAPE PLAN

CONSTRUCTION DOCUMENT PRELIMINARY

Date: 2019-08-29
 Phase:
 Job Number: 830-11
 Designed by: MLD
 Drawn by: MAS
 Checked by: JWM

Sheet Title:
PLANTING PLAN

Sheet Number:
L1.0
 of 1 sheets